

Independent Home Inspection LLC

Building Inspection Report



1 Main Street, Anytown, NY 12540
Inspection prepared for: John Jones
Date of Inspection: 3/27/2015 Time: 10 AM
Age of Home: 1930 Size: 1500
Weather: 40's Partial snow cover

Inspector: Kenneth Nohai
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General Information

Scope of Inspection

SCOPE OF INSPECTION

The scope of the inspection and report is a limited visual inspection of the general systems and components of the home to identify any system or component listed in the report which may be in need of immediate major repair. The inspection will be performed in compliance with New York State Regulations and Code of Ethics, a copy of which is available online at www.dos.ny.gov. The scope of the inspection is limited to the items listed within the report pages.

OUTSIDE THE SCOPE OF INSPECTION

Any area which is not exposed to view, is concealed, or is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings, or any other thing is not included in this inspection. The inspection does not include any destructive testing or dismantling. Client agrees to assume all the risk for all conditions which are concealed from view at the time of the inspection

Repair Recommendations

Recommendation All repairs and upgrades should be made by qualified and or licensed contractors as needed. Recommend acquiring multiple estimates as prices vary. Recommend consulting local building department for any necessary permits.

Occupancy

Observations The structure is furnished, and in accordance with state standards we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

Renovation and or Additions

Observations: Additions and or renovation appear to have been made to this property, recommend consulting local building department for any applicable permits or certificate of occupancy that may apply to properties current state.

Client Participation

Client was present and participated in the inspection

Weather Limitations

Observations: The ground is snow covered at the time of the inspection limiting the inspection of the grounds.

Wood Destroying Insects

Wood Destroying Insect Inspection

A wood destroying insect inspection has been performed see form NPMA-33 supplied at time of inspection. A wood destroying insect inspection is not a warranty or guarantee and should be performed frequently. Form is valid for 90 days from inspection.

Termites

Location: Right side of the building, Basement area, Band joist

Observations: There are visible mud tubes and damage noted from termites, recommend consulting owners for the history of damage and treatment, if any. Recommend consulting pest control company for monitoring and or treatment. (See Termite inspection form) Recommend creating further access and probing for possible repairs of damaged framing.



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Environmental

Indoor Air Quality

Observations: Recommend use of a humidistat for monitoring and maintaining humidity in the building to maintain about a 40% humidity level. The use of a dehumidifier is recommended when elevated levels of moisture are present to prevent organic and or mold like growth typically during the summer months and basement areas. The use of a humidifier is recommended during winter and heating season to prevent wood shrinkage, static electricity, and dry nasal passages in living space areas.

Water Quality

Observations: Lead water main piping is present, recommend testing of the water supply for lead to ensure water quality.

Radon

Location: Basement

Observations: A radon in air test has been performed and will supply the results as soon as they are available.

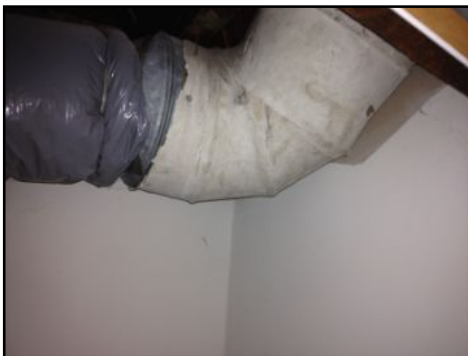
Lead

Observations: The structure is of a vintage older then 1978. Lead paint was used up to 1978, recommend testing paint for lead particularly if renovation has been or will be performed.

Asbestos

Location: Basement

Observations: There is some remaining asbestos like ducting insulation noted, recommend testing to determine presence and possible removal by asbestos abatement contractor.



Mold Like Growth

Observations: The walls in the basement have some mold like growth in prone areas which appears to have resulted from of elevated moisture levels within the basement finished walls against the foundation, All molds flourish in a damp environment and many are commonplace, but some are toxic and represent a health threat, recommend consulting a mold specialist for further evaluation, testing, and or remediation.



Mice

Location: Basement

Observations: There is evidence of mice in the building which is evident from droppings and staining, recommend consulting pest control company.

Topography and Grading

Building Site Topography Observations

Topography Type: Minor Slope

Landscaping

Landscaping Near The Building Observations

Observations: Landscaping against the building should be trimmed allowing for a minimum of twelve inches of clearance. Premature deterioration can occur from moisture being held against the structure from lack of sun and air flow. This also may allow pest access to the structure.

There are vine remnants that should be removed.

Driveway

Driveway

Surface Type: Asphalt

Observations: The driveway is in usable condition with moderate cracking and deterioration.

Driveway has settled in tire track locations and may need sub base improvements when re paving to maintain integrity.

Walkway

Walkway

Location: Front of the building

Surface Type: Concrete

Observations: Surface has trip hazards and some settlement from inadequate sub base, recommend adjustment and or re grading for safe usage and adequate drainage.

Exterior Wall Covering

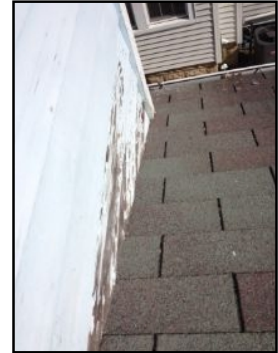
General Exterior Wall Covering

Wall Covering Type: Wood Shingles, Wood Clapboard

Observations: The general wall covering is in functional condition with moderate deterioration and weathering.

Wall Covering Finish

Observations: The wall covering will need surface prep and a finish applied to maintain integrity. Finish is peeling at prone areas.



General Wall Covering Trim

Observations: Surface prep, rot repair, and refinishing is needed to maintain integrity.

Loose Wall Trim

Location: Right side of the building.

Observations: There is loose trim which needs repair.

Fascia and Rake Board

Fascia and Rake Board

Type: Aluminum, Vinyl

Observations: Fascia and rake board are in functional condition with some weathering.

Fascia and Rake Board Finish

Observations: The fascia and rake boards will need surface prep and re finishing in the near future to maintain integrity.

Windows Exterior Observations

General Windows

Window Type: Mostly dual pane and a few single pane, Wood and vinyl, Double hung, Casement

Observations: Accessible windows wear tested and found in functional condition. Windows have some weathering.

Single Pane Windows

Observations: There are single pane windows noted which are not energy efficient and may form condensation on the interior the glass at certain times of the year.

General Window Trim

Type: Wood, Metal cladded

Window Trim Finish

Observations: Wood sections of window trim and frames will need a finish applied to maintain integrity.



Windows Observations

Broken Sash Cords

Observations: The windows have broken sash cords which need repair to support window.

Roof

General Roof Covering

Type: Asphalt shingles three tab. This type of roof covering is typically estimated to have a design life of 20 to 25 years when installed to manufactures recommended specifications.

Observations: Roofs are designed to be water resistant not water proof and require frequent maintenance on a consistent basis. Look for lifted fasteners, damage or broken shingles, and missing shingles from wind damage.

The roof surface has loss of aggregate and brittleness noted which indicates the surface is wearing. This means that the roof should be inspected more frequently and monitored for leaks as the roof will need replacing in the near future. Areas appear to lack proper underlayment below shingles which should be installed when re roofing.



Estimated Age of Roof Covering

Estimated Age: Older, Appears about around 20 years old, Near end of lifespan

Method of Evaluation and Access

Method of Evalaution: Walked roof for evaluation.
Viewed from several vantage points.

Shingle Observations

Observations: There are some damaged shingles which need replacement to ensure water tightness.
There are some missing shingles which need replacement to ensure water tightness.



There are some missing shingles which need replacement to ensure water tightness.

Evidence of Repairs

Observations: There are some replaced shingles noted.

Plumbing Vent Pipe Flashing

Observations: The vent pipe flashing rubber seal is cracked and deteriorated recommend repair or replacing flashing to ensure water tightness.



Roof 2

Roof Covering

Location: Porch

Type: Roll composition. This type of roof covering is typically estimated to have a design life of 10 to 15 years when installed to manufactures recommended specifications.

Observations: General condition of the roof covering appears functional with signs of weathering and aging appropriate to approximate age of roof.



Estimated Age of Roof Covering

Materials: Unknown

Perimeter Drip Edge Flashing

Observations: Drip edge flashing appears non professional with exposed fasteners which should be upgraded to ensure water tightness.



Gutters, Downspouts, and Roof Drains

General Gutters

Type: Aluminum

Observations: The gutters are in functional condition.
Downspouts are in functional condition.

Gutter and Downspout Maintenance

Observations: It is important to maintain gutters and downspouts on a consistent basis to ensure water flow away from structure as they are often a cause for moisture penetration to the structure.

Gutters have debris which should be cleaned and adjusted to ensure flow away from structure.

Gutters have evidence of ice damming which is conducive to water damage, recommend installing heating cable and or ice and snow removal as needed to ensure proper drainage. Porch roof drainage may need improvement to ensure proper drainage.



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Downspout Discharge

Observations: A few downspouts are dumping water next to the foundation which is conducive to moisture intrusion, recommend extending down spouts away from the structure, typically about six feet minimum, and installing a splash block to limit erosion.



Chimney 1

General Chimney

Materials: Brick

Observations: The visible portions of the chimney appear functional with some weathering.

Weather Cap

Observations: Weather cap is present

Brick Chimney

Observations: The mortar and some bricks are deteriorated which need to be repaired, raked, and re pointed at top portion of chimney above the roof line.



The mortar and some bricks are deteriorated which need to be repaired, raked, and re pointed at top portion of chimney above the roof line.

Further Evaluation

Observations: Unable to fully see interior of flue which should be cleaned and further evaluated to ensure integrity flue interior.

Porch

Porch

Location: Front of the building

Observations: The porch is older with some weathering.

Debris are under the porch, which is conducive to pests, that needs removal.

Finish

Observations: Porch will need a finish applied to maintain integrity.

Access

Observations: Partial visible access underneath.

Floor Framing

Observations: The integrity of the visible floor framing appears functional.

Stairs

Observations: The stairway is functional.

Handrail

Observations: Handrail is present.

Guardrail

Observations: Guardrail is present.

Deck

Deck

Location: Front of the building

Type: Wood, Plastic

Observations: The deck is in functional condition with some weathering.

Floor Framing

Observations: The integrity of the visible portions of the floor framing appear functional.

Stairs

Observations: The steps are in functional condition.

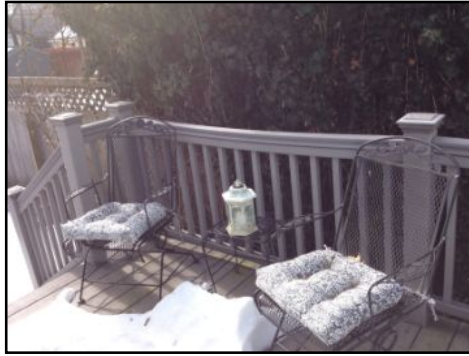
Handrail

Observations: Handrail is present.

Guardrail

Observations: Guardrail is present.

Guardrail between posts have sagging and needs additional support to maintain integrity.



Guardrail between posts have sagging and needs additional support to maintain integrity.

Exterior Doors

Main Entry Door

Location: Front of the building

Observations: Entry door is functional

Doorbell is functional.

Sliding Glass Door 1

Location: Right side of the building., Deck

Observations: Sliding glass door is functional.

Interior Floors, Walls, and Ceilings

General Floor Covering

Observations: The floors have typical cosmetic damage from time and use.

Rug noted on basement slab which is conducive to mold growth that you may wish to upgrade to hard cleanable moisture resistant surface.

General Interior Walls

Observations: The walls have typical cosmetic damage from time and use.

Some common cracking present.

General Ceiling Covering

Observations: The ceilings have typical cosmetic damage from time and use.

Smoke Detectors, Carbon Monoxide Detectors

Non functional smoke detectors

Location: Hallway first floor, Basement

Observations: **Smoke detector does not activate and needs repair or replacement.**

Areas lacking smoke detectors

Location: Bedrooms, Hallway second floor

Observations: **Recommend adding smoke detectors for safety.**

Areas lacking carbon monoxide detectors

Location: Hallway first floor, Hallway second floor, Basement

Observations: **Recommend adding carbon monoxide detector for safety.**

Bathroom 1

Location

Location: Hallway bathroom, Second floor

Type: Full bath

Lights

Observations: Light(s) are functional.

Electrical Outlets

Observations: The bathroom outlets are functional and have ground fault circuit interruption (GFCI) protection.

Sink

Observations: The sink is functional.

Sink water supply lines

Observations: The supply lines below the sink appear functional and have shut off valves present.

Sink drain lines

Observations: Drain line is functional

Toilet

Observations: Toilet is functional.

Tub/shower

Observations: Tub/shower is functional.

Bathroom 2

Location

Location: Hallway bathroom, First floor

Type: Half Bath

Lights

Observations: Light(s) are functional.

Electrical Outlets

Observations: The bathroom outlets are functional and have ground fault circuit interruption (GFCI) protection.

Sink

Observations: The sink is functional.

Sink water supply lines

Observations: The supply lines below the sink appear functional and have shut off valves present.

Sink drain lines

Observations: Drain line is functional

Counter top

Observations: Counter top is loose and should be secured.

Toilet

Observations: Toilet is functional.

Exhaust fan

Observations: Exhaust fan is functional.

Stairway 1

Stairway

Location: Stairs to second floor

Observations: Stairway is functional.

Handrail

Observations: A section of the stairway lacks a handrail which needs repair.

Stairway 2

Stairway

Location: Stairs to basement

Handrail

Observations: Stairs lack a handrail which needs installation.

Guardrail

Observations: A area lacks a guardrail which needs installation for safety.

Kitchen

Electrical Outlets

Observations: The kitchen counter outlets are functional and have ground fault circuit interruption (GFCI) protection within six feet of plumbing components.

Light(s)

Observations: Lights are functional.

Cabinets

Observations: Cabinets are functional.

Counter Top

Observations: Counter top is functional.

Sink

Observations: The sink is functional.

Sink Supply Lines

Observations: The supply lines below the sink appear functional and have shut off valves present.

Sink Drain Lines

Observations: Drain lines are functional.

Dishwasher

Observations: Dishwasher is functional.

Dishwasher discharge line is prone to contamination and should be improved with high loop method to prevent drain line contamination of the dishwasher interior.

Gas Range

Observations: Gas range is functional but older.

Front left burner does not activate with electronic ignition and needs repair.

Exhaust Fan

Observations: The exhaust fan is functional and vents to the exterior.

Laundry

Laundry

Location: Basement

Observations: We do not evaluate washer and dryer.
220 outlet for dryer is present.

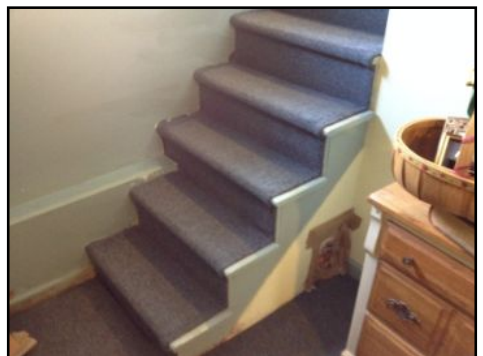
Dryer Vent

Observations: A section of dryer vent ducting is a flexible white plastic type that is typically used for bath exhaust fan ducting, which is proven to be a fire hazard because it is not designed for this application. Recommend replacing with proper ducting usually a silver metal flex ducting and or sheet metal pipe.

Finished Basement

Finished Basement

Observations: The foundation is allowing moisture intrusion which has resulted in rotted stairway stringer and steps, moisture damaged floor covering, wall covering, trim, and mold like growth which need repair and or replacement.



Electrical Service

General Electrical Service

Service Type: Overhead, Three conductors

Observations: Electrical service is in functional condition

Electrical Service Meter Pan

Observations: Meter pan is functional condition.



Exterior Electrical

Ground fault Protected Outlets

Location: Left side of the building

Observations: The accessible outlets were tested and found functional which include ground fault protection.

Outlets Lacking Ground Fault Protection

Location: Back of the building, Deck

Observations: The outlets should be upgraded to have ground fault protection, though these may not have required at time of construction it is mandated by current standards and is an important safety feature.

Interior Electrical

General Interior Outlets

Observations: The accessible three prong outlets tested functional.

Some of the outlets were obstructed by furniture and or stored items which were not accessible for testing.

Ungrounded Outlets

Location: Living room, Hallway

Observations: There are some remaining obsolete and ungrounded two prong outlets which should be upgraded to include more modern and safer ones that provide a pathway for the electrical current to travel harmlessly to a ground. Recommend consulting electrician for updating two prong outlets.

Outlets With Reversed Polarity

Materials: Bedrooms second floor

Observations: Outlets have reversed polarity and need further evaluation and repair by electrician.

Lights Not Functional

Location: Bathroom shower light

Observations: Light does not activate and needs further evaluation and repair.

Branch Wiring

Location: Basement

Observations: There is abandon electrical which should be removed.

There is exposed wiring which is conducive to damage and is a safety hazard which should be repaired by electrician to include conduit for protection.

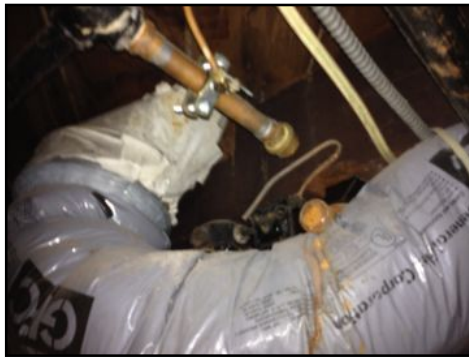


Exterior Plumbing

Exterior Hose Spigots

Location: Front of the building

Observations: Hose spigot plumbing is disconnected and needs repair.



Hose spigot plumbing is disconnected and needs repair.

Main and Branch Line Plumbing

Main Water Supply Piping

Type: Copper, Lead

Observations: Main line appears functional.

Proper insulation recommended on exposed piping to prevent condensation.

Lead piping is present and water should be tested for lead and monitored, recommend consulting filtration contractor for activated carbon filter.



Lead piping is present and water should be tested for lead and monitored, recommend consulting filtration contractor for activated carbon filter.

Water Main Shut Off Valve

Location of water main shut off valve: Water meter

Observations: Valve is present

Water Meter

Observations: Water meter is present in basement.

Water Pressure

Observations: Pressure was acceptable at time of inspection.

Water Filtration and Conditioning

Observations: None

Water Supply Branch Lines

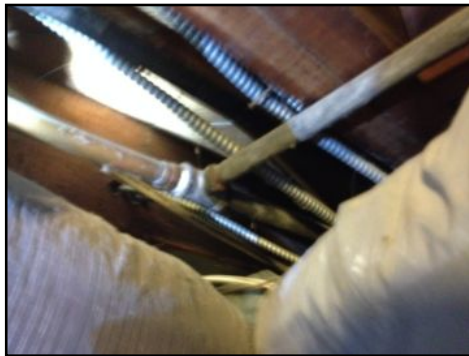
Type: Copper, Galvanized

Observations: Visible branch lines appear functional.

Supply lines are not fully visible.

Proper insulation recommended on exposed piping to prevent condensation and freeze damage.

There are some remaining water pipes within this residence that are galvanized, and assumed to be original. They may produce rusty looking water from time to time and, because the water volume in such pipes will gradually be reduced by a build up of minerals within them, we do not endorse them and should be upgraded. Some accessible sections are replaced.



There are some remaining water pipes within this residence that are galvanized, and assumed to be original. They may produce rusty looking water from time to time and, because the water volume in such pipes will gradually be reduced by a build up of minerals within them, we do not endorse them and should be upgraded. Some accessible sections are replaced.

Drainage Waste and Vent Plumbing

General Drain and Waste Lines

Materials: Plastic, Cast Iron

Observations: The visible interior waste lines appear functional.

Waste lines not fully visible.

Water Heater 1

Water Heater

Location: Basement

Type: Natural Gas, 40 gallons

Observations: Hot water heater is functional but is older and should not be expected to last a long period of time and plans for replacement should be made.

Estimated Age

Observations: Near end of lifespan

Temperature Pressure Relief Valve

Observations: The water heater is equipped with a mandated pressure temperature relief valve.

Maintenance

Observations: Recommend periodic maintenance and draining of sediment by plumber.

Flue Piping

Observations: Flue piping is loose and offset at bonnet to unit connection and needs securing.

Combustion Air

Observations: Combustion air is available.

Heating System 1

Heating System

Unit Location: Basement

Type and fuel source: Forced air furnace, Natural gas

Observations: Heating system was tested by activating with the use of the thermostat which properly activated at time of inspection. System is older but functional. These type of unit can function for long periods of time with replacement parts but you may benefit from replacing unit in the future due to increased efficiency and reduced fuel bill. System should not be expected to last a long period of time and plans for replacement should be made.

Acoustical lining within the air handler is missing and needs repair.



Estimated Age of The Unit

Observations: Appears about 20 years old

Emergency Electrical Disconnect

Location: Basement stairway

Observations: Switch is present

Distribution

Distribution Type: Ducting and diffusers

Observations: Recommend distribution system cleaning by qualified contractor.

Ducting design is for older type gravity furnace which lacked a fan resulting in over sized ducts when a fan powered unit is installed and may cause uneven heating. Recommend consulting heating contractor for ducting upgrades and or adjustment.

System Maintenance

Last system Maintenance: Unknown, Appears over a year ago

Observations: Maintain yearly inspections and unit cleaning by heating specialist, some components of the system such as controls typically do not last as long as the system and may need repairs in the future to keep the system functional. Monitor your system particularly after periods of non use.

System appears due for its annual maintenance.

Flue Piping

Observations: Visible sections of the flue piping appears functional.

Air Filter

Filter Location: At heating system return duct

Observations: Recommend changing air filter every 30 to 90 days during peak usage.

Filter needs replacement.

Humidifier

Observations: There is a humidifier which is off that should be serviced by heating contractor to ensure air quality and then activated for winter to supply moisture to indoor air.



Combustion Air

Observations: Combustion air is available.

Air Conditioning System 1

General Air Conditioning System

System Location and Type: Exterior, Basement, Split system added to furnace

Estimated Age of System 1998

Observations: Unable to test air conditioning system due to exterior temperature below 65 degrees, activation can cause damage. Recommend further evaluation and servicing weather permitting.

Maintenance

Last System Maintenance: Unknown

Observations: Recommend having annual maintenance performed to ensure proper efficient function.

Condenser

Observations: Electrical serving condenser is exposed and needs water proof conduit and connectors. Grading is over base of condenser which needs clearance created to prevent condition conducive to deterioration.



Grading is over base of condenser which needs clearance created to prevent condition conducive to deterioration.



Electrical serving condenser is exposed and needs water proof conduit and connectors.

Fuel Supply

Natural Gas

Location: Right side of the building

Observations: Gas Meter appears functional.

Recommend applying a finish to piping to maintain integrity and prevent rust staining.



Oil Tank

Observations: Abandon oil line noted near heating system indicating a possible buried or removed oil tank, recommend consulting owners for history of previous oil tank. If tank is or was buried recommend further evaluation and testing by tank specialist.



Abandon oil line noted near heating system indicating a possible buried or removed oil tank, recommend consulting owners for history of previous oil tank. If tank is or was buried recommend further evaluation and testing by tank specialist.

Attic Area

Access Restrictions

Method of Evaluation: Direct access

Access Restrictions: Insulation within the attic obscures the joists and other components preventing visual access.

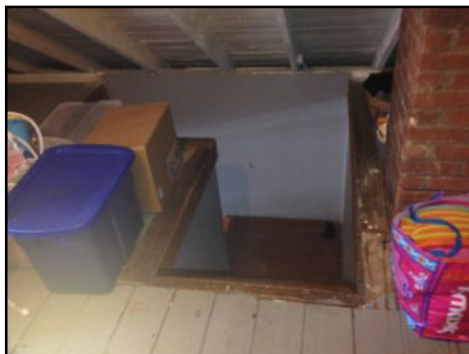
Floor covering limits view.
Stored items limit access.

Attic Access Observation

Location: Hallway

Attic Stairway

Observations: Stairway needs handrail and guardrail installed to ensure safe usage.
Guardrail needed at stairway opening in the attic for safety.



Guardrail needed at stairway opening in the attic for safety.

Attic Framing

Framing Type: Rafters

Observations: The integrity of the visible portions of the roof framing are in functional condition.



Roof Sheathing

Roof Sheathing Type: Wood boards

Observations: The visible portions of the roof sheathing are in functional condition.

There are some cracked or broken boards which may need repair when re roofing.

Attic Insulation

Insulation Type: Fiberglas batt insulation, Loose insulation, Mostly not visible due to flooring

Observations: Recommend insulation be added and or replaced for better R value and lower heating costs. Recommended minimum current minimum standard is R-38 12 inches thick.

Attic Ventilation

Ventilation Type: Windows only

Observations: Ventilation within the attic is limited and should be improved, additional vents recommended to increase ventilation within the attic.

Attic Area 2

Attic Location

Location: Back of the building, Addition

Access Restrictions

Access Restrictions: **The attic lacks access which would have to be created to evaluate attic components.**

Attic Ventilation

Ventilation Type: Ridge and overhang vents

Observations: Ventilation ports are present.

Exterior Wall Structure

Exterior Wall Structure

Structure Access: Wall structure is not visible and covered by wall coverings limiting inspection.

Structure Type: Wood Frame, 2"x 4"

Observations: Visually sighting along the exterior walls, structure appears functional.

Wall Insulation

Materials: Not visible

Observations: Building of its vintage typically lacks or has limited wall insulation. Recommend creating access for evaluation. Not visible but is 2x4 framing typically indicating 3.5 inches at best

Exterior Wall Sheathing

Sheathing Access: Partial visual access attic

Sheathing Type: Wood Boards

Observations: Visible accessible sheathing appears functional.

Floor Structure

Floor Structure

Structure Access: Not fully visible due to insulation., Not fully visible due to ceiling.

Structure Type: Joist

Observations: Integrity of the visible sections of the floor framing appear functional.

Columns

Materials: Steel

Observations: Columns that are visible appear functional.

Floor Insulation

Materials: Fiberglas, Batt insulation

Observations: Area is partially insulated.

Areas lack insulation which should be installed.

Foundation Area

Foundation Stem Walls

Foundation Access: Floor covering over slab limits view, The foundation area has finished space which limits inspection of foundation area., Mechanical systems limit access

Foundation Type: Brick, Stacked stone, this type of foundation is prone to moisture intrusion as it typically lacks exterior sealer and or footing drains.

, Masonry block at addition

Observations: The visible portions of the foundation stem walls appear functional with common cracking.

Foundation Floor

Materials: Poured Concrete

Observations: The floor is covered with a concrete slab with common cracking.

Interior Exterior Elevations

Observations: Areas of the foundation are below grade and have the potential for moisture penetration. Any time areas of the foundation are below grade it has the potential for ponding water. The walls are typically dependent on exterior applied sealer which is not fully visible and may deteriorate, crack and or may not be properly applied. Footing drains are also typically installed to prevent ponding water which can be damaged, clogged, and or not properly installed. For these reasons moisture intrusion is possible, recommend monitoring for moisture penetration thru the foundation wall and floor on a consistent basis.

The basement could be subject to moisture intrusion, and the presence of salt crystal formations and staining on the basement walls and floor confirms that some moisture does reach this area. Therefore, you should keep any storage items isolated from the walls and floor, monitor the basement during heavy rains.

Recommend cleaning efflorescence, surface prep, and sealing foundation walls with masonry water proofing finish to prevent capillary moisture intrusion.



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Ventilation

Observations: Use of a dehumidifier recommended during summer months to lower moisture levels.

Moisture Penetration

Observations: The exterior walls of the foundation appears to be allowing moisture intrusion which is evident from mold like growth, recommend creating further access for evaluation and repairs to ensure water tightness.



The exterior walls of the foundation appears to be allowing moisture intrusion which is evident from mold like growth, recommend creating further access for evaluation and repairs to ensure water tightness.

Crawl Space

Observations: Addition crawl space lacks access which should be created to allow for evaluation and monitoring.

Report Summary

Wood Destroying Insects		
Page 1	Termites	There are visible mud tubes and damage noted from termites, recommend consulting owners for the history of damage and treatment, if any. Recommend consulting pest control company for monitoring and or treatment. (See Termite inspection form) Recommend creating further access and probing for possible repairs of damaged framing.
Environmental		
Page 2	Water Quality	Lead water main piping is present, recommend testing of the water supply for lead to ensure water quality.
Page 2	Asbestos	There is some remaining asbestos like ducting insulation noted, recommend testing to determine presence and possible removal by asbestos abatement contractor.
Page 3	Mold Like Growth	The walls in the basement have some mold like growth in prone areas which appears to have resulted from of elevated moisture levels within the basement finished walls against the foundation, All molds flourish in a damp environment and many are commonplace, but some are toxic and represent a health threat, recommend consulting a mold specialist for further evaluation, testing, and or remediation.
Page 3	Mice	There is evidence of mice in the building which is evident from droppings and staining, recommend consulting pest control company.
Walkway		
Page 3	Walkway	Surface has trip hazards and some settlement from inadequate sub base, recommend adjustment and or re grading for safe usage and adequate drainage.
Exterior Wall Covering		
Page 4	Wall Covering Finish	The wall covering will need surface prep and a finish applied to maintain integrity. Finish is peeling at prone areas.
Page 4	General Wall Covering Trim	Surface prep, rot repair, and refinishing is needed to maintain integrity.
Page 4	Loose Wall Trim	There is loose trim which needs repair.
Windows Exterior Observations		
Page 4	Window Trim Finish	Wood sections of window trim and frames will need a finish applied to maintain integrity.
Windows Observations		
Page 5	Broken Sash Cords	The windows have broken sash cords which need repair to support window.
Roof		
Page 5	General Roof Covering	The roof surface has loss of aggregate and brittleness noted which indicates the surface is wearing. This means that the roof should be inspected more frequently and monitored for leaks as the roof will need replacing in the near future. Areas appear to lack proper underlayment below shingles which should be installed when re roofing.
Page 5	Shingle Observations	There are some damaged shingles which need replacement to ensure water tightness. There are some missing shingles which need replacement to ensure water tightness.
Page 6	Plumbing Vent Pipe Flashing	The vent pipe flashing rubber seal is cracked and deteriorated recommend repair or replacing flashing to ensure water tightness.
Roof 2		
Page 7	Perimeter Drip Edge Flashing	Drip edge flashing appears non professional with exposed fasteners which should be upgraded to ensure water tightness.
Gutters, Downspouts, and Roof Drains		

Page 7	Gutter and Downspout Maintenance	Gutters have debris which should be cleaned and adjusted to ensure flow away from structure. Gutters have evidence of ice damming which is conducive to water damage, recommend installing heating cable and or ice and snow removal as needed to ensure proper drainage. Porch roof drainage may need improvement to ensure proper drainage.
Page 7	Downspout Discharge	A few downspouts are dumping water next to the foundation which is conducive to moisture intrusion, recommend extending down spouts away from the structure, typically about six feet minimum, and installing a splash block to limit erosion.
Chimney 1		
Page 8	Brick Chimney	The mortar and some bricks are deteriorated which need to be repaired, raked, and re pointed at top portion of chimney above the roof line.
Page 8	Further Evaluation	Unable to fully see interior of flue which should be cleaned and further evaluated to ensure integrity flue interior.
Porch		
Page 8	Porch	Debris are under the porch, which is conducive to pests, that needs removal.
Deck		
Page 9	Guardrail	Guardrail between posts have sagging and needs additional support to maintain integrity.
Smoke Detectors, Carbon Monoxide Detectors		
Page 10	Non functional smoke detectors	Smoke detector does not activate and needs repair or replacement.
Page 10	Areas lacking smoke detectors	Recommend adding smoke detectors for safety.
Page 10	Areas lacking carbon monoxide detectors	Recommend adding carbon monoxide detector for safety.
Stairway 1		
Page 11	Handrail	A section of the stairway lacks a handrail which needs repair.
Stairway 2		
Page 11	Guardrail	A area lacks a guardrail which needs installation for safety.
Kitchen		
Page 12	Dishwasher	Dishwasher discharge line is prone to contamination and should be improved with high loop method to prevent drain line contamination of the dishwasher interior.
Page 12	Gas Range	Front left burner does not activate with electronic ignition and needs repair.
Laundry		
Page 12	Dryer Vent	A section of dryer vent ducting is a flexible white plastic type that is typically used for bath exhaust fan ducting, which is proven to be a fire hazard because it is not designed for this application. Recommend replacing with proper ducting usually a silver metal flex ducting and or sheet metal pipe.
Finished Basement		
Page 12	Finished Basement	The foundation is allowing moisture intrusion which has resulted in rotted stairway stringer and steps, moisture damaged floor covering, wall covering, trim, and mold like growth which need repair and or replacement.
Exterior Electrical		
Page 13	Outlets Lacking Ground Fault Protection	The outlets should be upgraded to have ground fault protection, though these may not have required at time of construction it is mandated by current standards and is an important safety feature.
Interior Electrical		
Page 13	Ungrounded Outlets	There are some remaining obsolete and ungrounded two prong outlets which should be upgraded to include more modern and safer ones that provide a pathway for the electrical current to travel harmlessly to a ground. Recommend consulting electrician for updating two prong outlets.

Page 13	Outlets With Reversed Polarity	Outlets have reversed polarity and need further evaluation and repair by electrician.
Page 13	Lights Not Functional	Light does not activate and needs further evaluation and repair.
Page 14	Branch Wiring	There is exposed wiring which is conducive to damage and is a safety hazard which should be repaired by electrician to include conduit for protection.
Exterior Plumbing		
Page 14	Exterior Hose Spigots	Hose spigot plumbing is disconnected and needs repair.
Main and Branch Line Plumbing		
Page 14	Main Water Supply Piping	Lead piping is present and water should be tested for lead and monitored, recommend consulting filtration contractor for activated carbon filter.
Water Heater 1		
Page 15	Water Heater	Hot water heater is functional but is older and should not be expected to last a long period of time and plans for replacement should be made.
Page 16	Flue Piping	Flue piping is loose and offset at bonnet to unit connection and needs securing.
Heating System 1		
Page 16	Heating System	Acoustical lining within the air handler is missing and needs repair.
Page 16	System Maintenance	System appears due for its annual maintenance.
Page 16	Air Filter	Filter needs replacement.
Page 17	Humidifier	There is a humidifier which is off that should be serviced by heating contractor to ensure air quality and then activated for winter to supply moisture to indoor air.
Air Conditioning System 1		
Page 17	General Air Conditioning System	Unable to test air conditioning system due to exterior temperature below 65 degrees, activation can cause damage. Recommend further evaluation and servicing weather permitting.
Page 17	Maintenance	Recommend having annual maintenance performed to ensure proper efficient function.
Page 17	Condenser	Electrical serving condenser is exposed and needs water proof conduit and connectors. Grading is over base of condenser which needs clearance created to prevent condition conducive to deterioration.
Fuel Supply		
Page 18	Oil Tank	Abandon oil line noted near heating system indicating a possible buried or removed oil tank, recommend consulting owners for history of previous oil tank. If tank is or was buried recommend further evaluation and testing by tank specialist.
Attic Area		
Page 18	Attic Stairway	Stairway needs handrail and guardrail installed to ensure safe usage. Guardrail needed at stairway opening in the attic for safety.
Page 19	Roof Sheathing	There are some craked or broken boards which may need repair when re roofing.
Attic Area 2		
Page 19	Access Restrictions	The attic lacks access which would have to be created to evaluate attic components.
Foundation Area		
Page 20	Interior Exterior Elevations	The basement could be subject to moisture intrusion, and the presence of salt crystal formations and staining on the basement walls and floor confirms that some moisture does reach this area. Therefore, you should keep any storage items isolated from the walls and floor, monitor the basement during heavy rains. Recommend cleaning efflorescence, surface prep, and sealing foundation walls with masonry water proofing finish to prevent capillary moisture intrusion.

Page 21	Moisture Penetration	The exterior walls of the foundation appears to be allowing moisture intrusion which is evident from mold like growth, recommend creating further access for evaluation and repairs to ensure water tightness.
Page 21	Crawl Space	Addition crawl space lacks access which should be created to allow for evaluation and monitoring.